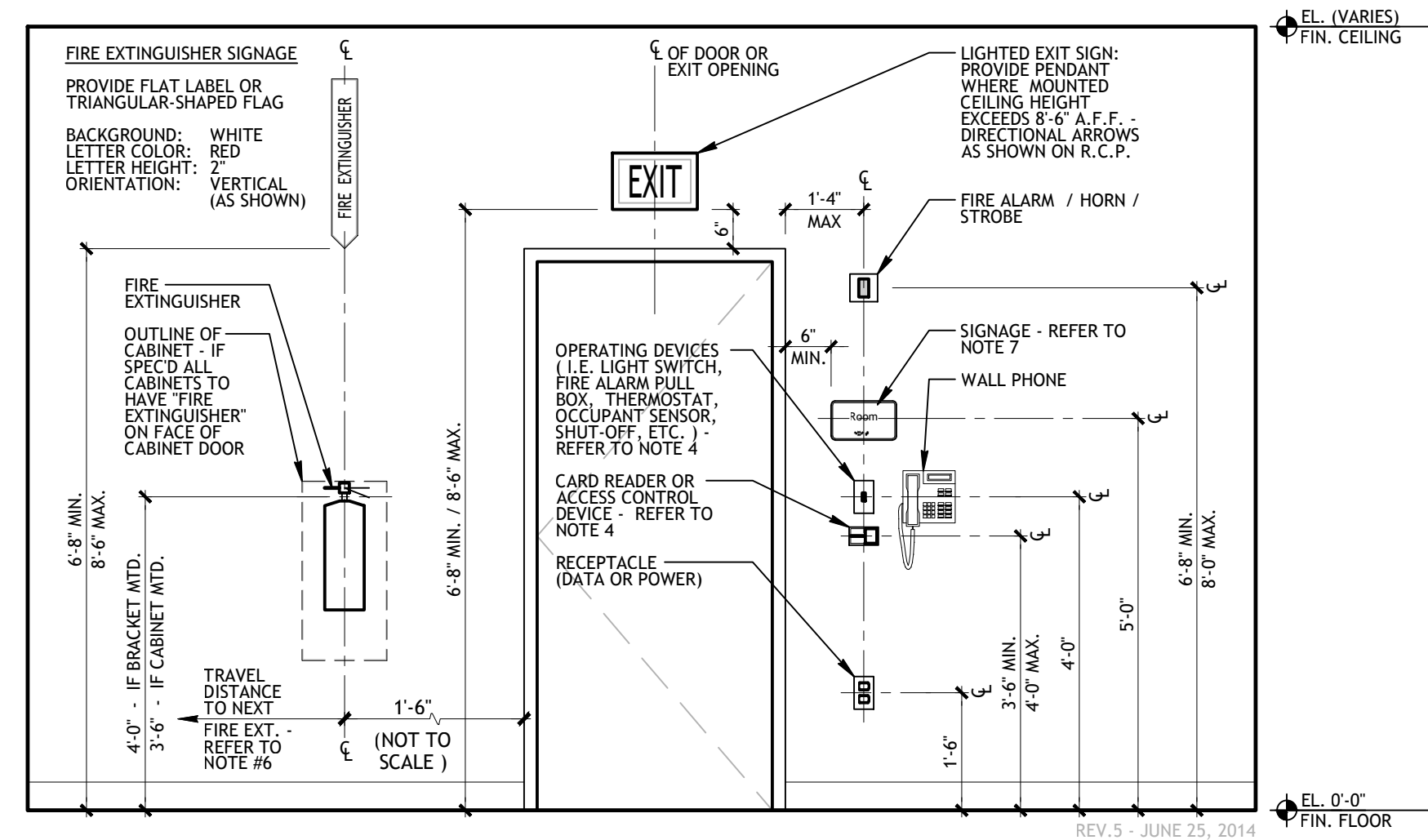


GENERAL LEGEND

GRAPHIC SYMBOLS	ABBREVIATIONS	MATERIAL SYMBOLS
	COLUMN BUBBLE	
	SECTION DETAIL	
	PLAN DETAIL	
	INTERIOR ELEVATION	
	EXTERIOR ELEVATION	
	ROOM NAME / ROOM NUMBER	
	ELEVATION MARKER	
	DOOR NUMBER	
	WALL TYPE	
	NOTE / REVISION	
	WINDOW TYPE	
	LIMIT OF WORK	
	MATCH LINE	
	CHANGE IN FLOOR FINISH	

TYPICAL MOUNTING HEIGHTS



- NOTES:**
- ALL MOUNTING HEIGHTS SHALL BE MEASURED FROM FINISHED FLOOR TO CENTERLINE OF DEVICE EXCEPT AT EXIT SIGNS WHERE HEIGHTS SHALL BE MEASURED TO BOTTOM OF SIGNAGE FRAME.
 - ALL DEVICES SHALL BE INSTALLED ON A COMMON VERTICAL CENTERLINE AS SHOWN ABOVE WHEREVER POSSIBLE.
 - ALL DEVICES SHALL BE INSTALLED AT MOUNTING HEIGHTS AS INDICATED ON THIS DETAIL UNLESS OTHERWISE NOTED. COORDINATE HEIGHTS AND LOCATIONS OF ALL DEVICES AND EQUIPMENT WITH MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS. ALL CONFLICTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
 - ALL OPERATING DEVICES SHALL BE INSTALLED AT MOUNTING HEIGHTS AND CENTERLINES AS INDICATED ON THIS DETAIL AS MEASURED FROM THE OUTER EDGE OF FRAME AT DOORS, SLOTTED GLAZING, ETC. UNLESS NOTED OTHERWISE. THE PREFERRED LOCATION FOR FIRE ALARM PULL BOXES, CARD READERS, AND ACCESS CONTROL DEVICES SHALL BE THE LATCH SIDE OF DOOR. AT AREAS WITH MULTIPLE DEVICES OR LOCATION CONFLICTS, COORDINATE DEVICE LOCATION WITH INTERIOR ELEVATIONS, PLUMBING, MECHANICAL, AND ELECTRICAL DRAWINGS, AND THE ARCHITECT/ENGINEER OF RECORD.
 - REVIEW AND CONFIRM ALL FIRE EXTINGUISHER TYPES, SIZES, AND LOCATIONS WITH AUTHORITY HAVING JURISDICTION.
 - UNLESS NOTED OR DIRECTED OTHERWISE ELSEWHERE IN DRAWING SET, FIRE EXTINGUISHERS SHALL BE LOCATED AS FOLLOWS:
- | TYPE OF FIRE / HAZARD | EXTINGUISHER TYPE | MAX. TRAVEL DISTANCE / SPACING |
|-------------------------|-------------------|---|
| TYPE 'A' | TYPE 2-A | 75' MAX. TRAVEL / ONE (1) EXTINGUISHER FOR EVERY 3000 SQ.FT. |
| TYPE 'B' / LIGHT HAZARD | TYPE 10-B | 50' MAX. TRAVEL |
| TYPE 'B' / MOD. HAZARD | TYPE 20-B | 50' MAX. TRAVEL |
| TYPE 'B' / HIGH HAZARD | TYPE 40-B | 30' MAX. TRAVEL |
| TYPE 'C' | -> | TYPE AND SPACING IS BASED ON CLASS 'A' OR 'B' RATING WHERE ENERGIZED EQUIPMENT IS IN USE. |
| TYPE 'D' | CLASS 'D' | NOT MORE THAN 75' FROM THE HAZARD |
| TYPE 'K' | CLASS 'K' | 30' MAX. TRAVEL |
- 7.) SIGNAGE FONTS SHALL BE 5/8" TO 2" HIGH. BRILLE CELLS SHALL BE 0.059" IN DIAMETER. THE VERTICAL SEPARATION BETWEEN CELLS SHALL BE AT LEAST 0.395" AND THE HORIZONTAL SEPARATION SHALL BE AT LEAST 0.241".

TYPICAL MOUNTING HEIGHTS
SCALE: 1/2" = 1'-0"

CODE REVIEW

56 Fruit Street Worcester, MA 01609	
Code Review	
Project	Renovations to Existing 2 Family Residence 56 Fruit Street Worcester, MA 01609
Applicable Building Code	780 CMR, Massachusetts State Building Code, 9th Edition International Residential Code 2015 w/ Massachusetts Amendments International Energy Conservation Code 2021 w/ Massachusetts Amendments and Appendix 115.AA (Stretch Code) as applicable. International Building and Existing Code 2015 w/ Massachusetts Amendments
Applicable Access Codes	521 CMR, Architectural Access Board Rules and Regulations 28 CFR Part 36: ADA Accessibility Guidelines
Applicable Plumbing Code	248 CMR: Fuel Gas and Plumbing Code, 3/10/17
Life Safety	NFPA 101 Life Safety Code
Applicable Electric Code	NFPA 70 National Electric Code
Project Summary USE GROUP - R3 - 2 FAMILY and TYPE 5B Wood Frame Construction Project consists of interior renovations to a two-family building with a total building area of approximately 3,900 square feet including basement, excluding detached garage. No work proposed on detached garage.	
Basic Building Characteristics	
Plan Building Area	3,900 SF (Total Building Area) 1,025 SF - Basement 1,025 SF - First Floor 1,850 SF - Attic (Habitable)
Number of Floors	3 floors including attic (above grade)
SECTION R302 FIRE RESISTANT CONSTRUCTION	302.1 EXTERIOR WALLS Exterior Wall FSD - greater or equal than 5 feet = No Rating Required Projections FSD - greater or equal to 5 feet = No Rating Required Openings in Walls FSD - greater or equal to 5 feet = Unlimited Penetrations FSD - greater than 3 feet = No Rating Required
302.9 CEILING FINISHES	Flame Spread (Wall and ceiling) = not greater than 200 Smoke Developed Index = not greater than 450
302.10 INSULATION	Flame Spread = not greater than 25 Smoke Developed Index = not greater than 450
MEANS OF EGRESS	
SECTION R310 EMERGENCY ESCAPE AND RESCUE OPENINGS	310.1 EERO REQUIRED Basements, habitable attic space, and every sleeping room shall have at least one EERO of at least 5.7 sq ft net clear opening, min. 24" height, min. 20" wide clear.
SECTION 311 MEANS OF EGRESS	311.1 MEANS OF EGRESS Two means of egress from each unit are required. EXCEPTION AS PER 1006.2.1 - ONE MEANS OF EGRESS IS PERMITTED WITHIN AND FROM INDIVIDUAL DWELLING UNITS WITH A MAXIMUM OCCUPANT LOAD OF 20 WHERE THE BUILDING IS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 903.3.1.1. OR 903.3.1.2 AND THE COMMON PATH OF EGRESS TRAVEL DOES NOT EXCEED 125 FEET - WE ARE IN COMPLIANCE WITH BOTH OF THESE REQUIREMENTS WITH THE INSTALLATION OF AN NFPA 13R SPRINKLER SYSTEM THROUGHOUT - Therefore only one means of egress from each unit is required
311.2 DOOR SIZING	Egress Doors shall be min. 32" clear open Other doors may be min. 30" clear open
311.7 STAIRS	Min. Stair Width - 36" Min. Headroom - 7'6" Max. Riser Height - 8 1/4" Min. Tread Depth - 9" Handrails (min. one side) - 34 to 38" high
Fire Protection System	The project will have an NFPA 13R sprinkler system installed throughout the building.

LOCUS PLAN



GENERAL REQUIREMENTS

- THESE DRAWINGS ARE PREPARED AS A GUIDE TO THE CONTRACTOR AND MAY NOT COMPREHENSIVELY INDICATE ALL WORK REQUIRED. THE CONTRACTOR SHALL COORDINATE FULL PROJECT SCOPE WITH THE OWNER AND THE ARCHITECT.
- ANY CHANGES TO THE SCOPE OF WORK AS DESCRIBED IN THIS DOCUMENT PACKAGE MUST BE APPROVED IN WRITING BY THE OWNER PRIOR TO PERFORMING WORK.
- PRIOR TO THE START OF WORK, THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS. ALL WORK SHALL CONFORM TO THE APPLICABLE LAWS, CODES, STANDARDS, AND ORDINANCES WITHIN THE LOCAL JURISDICTION OF THE INSTALLATION.
- PRIOR TO THE START OF WORK, THE CONTRACTOR SHALL PREPARE AND SUBMIT A WORK SCHEDULE FOR REVIEW AND APPROVAL BY THE OWNER AND THE ARCHITECT. THE CONTRACTOR SHALL COORDINATE THE PHASING OF WORK WITH THE OCCUPANCY AND USE OF THE SITE BY THE OWNER.
- PRIOR TO THE START OF WORK, THE CONTRACTOR SHALL VISUALLY INSPECT THE SITE TO DETERMINE THE CONDITION OF ANY EXISTING CONSTRUCTION AND FAMILIARIZE HIMSELF WITH THE PROPOSED WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR THE PREPARATION OF ALL AREAS AND SURFACES AND FOR THE INSTALLATION OF ALL MATERIALS, UTILITIES, SYSTEMS, ETC. AS INDICATED IN THIS DOCUMENT PACKAGE, OR AS SPECIFIED OR REQUIRED.
- PRIOR TO THE START OF WORK, THE CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES, DIG SAFE, AND THE LOCAL MUNICIPALITY TO VERIFY THE LOCATION, DEPTH, AND SIZES OF ALL EXISTING UTILITIES AND SHALL OBTAIN CONNECTION PERMITS.
- PRIOR TO THE START OF WORK, THE CONTRACTOR SHALL ESTABLISH A COMPREHENSIVE SITE ACCESS PLAN WITH THE OWNER AND ARCHITECT THAT INCLUDES THE REMOVAL OF DEMOLITION ITEMS AND DEBRIS, RECEIVING AND STORAGE OF MATERIALS, VEHICLE PARKING, AND SITE SECURITY. THE CONTRACTOR SHALL CONFIRM WITH THE OWNER ALL ROUTES FOR VEHICLES AND PERSONNEL THROUGH ALL INTERIOR AND EXTERIOR AREAS OF THE PROPERTY.
- PRIOR TO THE START OF WORK, THE CONTRACTOR SHALL TEST EXISTING MATERIALS TO BE CUT, REMOVED, OR DEMOLISHED FOR THE PRESENCE OF HAZARDOUS MATERIALS, SUCH AS ASBESTOS, LEAD, MERCURY, ETC. THE CONTRACTOR SHALL SAFELY, LEGALLY, AND PROPERLY ABATE AND DISPOSE OF ANY HAZARDOUS OR CONTAMINATED MATERIALS THAT ARE ENCOUNTERED DURING PROJECT WORK ACTIVITY.
- PRIOR TO THE START OF WORK, THE CONTRACTOR SHALL COORDINATE WITH THE OWNER AND ARCHITECT TO IDENTIFY ITEMS TO BE DEMOLISHED, SALVAGED, REMOVED, OR REMAIN IN PLACE. THE CONTRACTOR SHALL CAREFULLY STORE REMOVED AND SALVAGED ITEMS, AND FULLY PROTECT ITEMS TO REMAIN IN PLACE PRIOR TO COMMENCEMENT OF PROJECT WORK ACTIVITY. ALL DEMOLITION DEBRIS IS TO BE REMOVED AND DISPOSED OF IN A LEGAL MANNER.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT THE SITE AND RESOLVE ANY DISCREPANCY BEFORE ORDERING MATERIAL OR PROCEEDING WITH INSTALLATION.
- THE CONTRACTOR SHALL SUBMIT PRODUCT INFORMATION TO THE ARCHITECT FOR ALL MATERIALS TO BE INSTALLED AS PART OF THIS DOCUMENT PACKAGE. THE CONTRACTOR SHALL ALSO SUBMIT PHYSICAL PRODUCT SAMPLES FOR FLOORING, CARPETING, CEILING COMPONENTS, PAINT, SEALANT, EXPOSED FIXTURES AND EQUIPMENT, OR AS NECESSARY OR REQUESTED. ALL MATERIALS SHALL BE REVIEWED BY THE ARCHITECT PRIOR TO THE ORDERING, PURCHASING, OR PROCUREMENT OF THESE MATERIALS. PRODUCT INFORMATION AND PHYSICAL SAMPLE SUBMITTALS ARE TO BE DELIVERED FOR REVIEW TO THE ARCHITECT UNLESS DIRECTED OTHERWISE. ITEMS AND MATERIALS THAT ARE NOT SUBMITTED, REVIEWED, OR APPROVED FOR USE BY THE OWNER OR ARCHITECT WILL BE REMOVED AND REPLACED AT THE EXPENSE OF THE CONTRACTOR.
- THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR ALL FABRICATED ITEMS. DIMENSIONS AND ELEVATIONS NOTED WITHIN THESE DOCUMENTS AS (+/-) AS WELL AS ALL FIELD CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO THE CREATION OF SHOP DRAWINGS. UPON RECEIPT OF SHOP DRAWINGS, THE ARCHITECT HAS THE RIGHT TO ASSURE THAT ALL RELEVANT DIMENSIONS HAVE BEEN VERIFIED BY THE CONTRACTOR AND THAT THE SUBMITTED SHOP DRAWINGS REFLECT ACTUAL FIELD CONDITIONS.
- REQUIREMENTS FOR SHOP DRAWINGS AND OTHER SUBMITTALS:
 - SCHEDULE:**
 - WITHIN 10 BUSINESS DAYS OF DIRECTION TO PROCEED, THE GENERAL CONTRACTOR SHALL SUBMIT A SCHEDULE OF SUBMITTALS TO THE ARCHITECT/DESIGN TEAM AND TO THE BUILDING MANAGEMENT COMPANY.
 - SCHEDULE OF SUBMITTALS SHALL CONSIST OF A SINGLE SPREAD SHEET FOR PRODUCT DATA, SHOP DRAWINGS, SAMPLES AND OTHER REQUIRED SUBMITTALS.
 - FOR EACH SUBMITTAL, SHOW THE PROPOSED DATE OF SUBMISSION, AND THE PROPOSED DATE FOR RETURN OF REVIEWED MATERIALS.
 - GENERAL CONTRACTOR MAY ORGANIZE THE SCHEDULE BY EITHER CHRONOLOGICAL DATE OR CSI DIVISION.
 - ALLOW TEN (10) BUSINESS DAYS EXCLUSIVE OF DELIVERY/TRANSIT TIME FOR ARCHITECT'S REVIEW OF COMPLIANT SUBMITTALS.
 - ALLOW FIFTEEN (15) BUSINESS DAYS EXCLUSIVE OF DELIVERY/TRANSIT TIME FOR ARCHITECT'S REVIEW OF SUBMITTALS INCORPORATING SUBSTITUTIONS.
 - REVISE AND RESUBMIT THE SCHEDULE OF SUBMITTALS AS REQUIRED AS SUBMITTALS ARE PROCESSED.
 - THE CONTRACTOR SHALL BE PREPARED TO PRESENT AN UPDATED SCHEDULE OF SUBMITTALS AT ALL REGULAR PROJECT MEETINGS, MEETINGS WITH BUILDING MANAGEMENT COMPANY, AND MEETINGS WITH THE ARCHITECT/DESIGN TEAM.
 - WHEN MATERIAL LISTS ARE REQUIRED BY FIRE PROTECTION, MEP, AND VOICE-DATA DISCIPLINES, THE CONTRACTOR SHALL COMPLY WITH THOSE REQUIREMENTS.
 - SUBMIT SHOP DRAWINGS, PRODUCT DATA, SAMPLES AND MATERIAL SAFETY DATA SHEETS ONLY OF ITEMS IDENTIFIED AS REQUIRING SUCH IN THE CONTRACT DOCUMENTS.
 - ARCHITECT TO APPROVE, BEFORE ORDERING.
 - NO ITEMS PURCHASED BEFORE APPROVAL AND ARE SUBSEQUENTLY REJECTED ARE THE RESPONSIBILITY OF THE CONTRACTOR.
 - NO SUBSTITUTIONS WILL BE CONSIDERED FOR PRODUCTS OR METHODS THAT CANNOT BE PROVIDED AS A RESULT OF THE CONTRACTOR'S FAILURE TO ORDER PRODUCTS IN A TIMELY MANNER, TO PURSUE THE WORK PROMPTLY, OR TO COORDINATE THE VARIOUS ACTIVITIES PROPERLY.
 - THE CONTRACTOR IS NOT TO BE RELIEVED OF RESPONSIBILITY FOR ERRORS OR OMISSIONS IN SHOP DRAWINGS, PRODUCT DATA, SAMPLES, OR SIMILAR SUBMITTALS BY THE ARCHITECT'S APPROVAL THEREOF.
 - RE-SUBMISSIONS:
 - IF IT IS INTENDED THAT SUBMITTAL DATA BE COMPLETE AND ACCURATE AT THE FIRST SUBMISSION.
 - IF THE SUBMITTAL IS MARKED "REVISE AND RESUBMIT" OR "REJECTED", ONLY ONE ADDITIONAL SUBMITTAL WILL BE ACCEPTED.
 - IF THE SECOND SUBMITTAL IS MARKED "REVISE AND RESUBMIT" OR "REJECTED", THEN THE FOLLOWING CONDITIONS WILL BE TRIGGERED:
 - NO SUBSTITUTIONS WILL BE PERMITTED.
 - THE CONTRACTOR WILL BE LIABLE FOR THE COST AT THE TEN CURRENT HOURLY RATES OF THE ARCHITECT/DESIGN TEAM'S TIME REQUIRED TO REPROCESS THE SUBMITTAL.
 - FOR A SPECIFICALLY NAMED PRODUCTS AND MATERIALS THE CONTRACTOR WILL NOT MAKE SUBSTITUTIONS.
 - SCHEDULE ADJUSTMENTS RESULTING FROM THE CONTRACTOR'S FAILURE TO ABIDE BY THE SUBMITTAL REQUIREMENTS OF THIS SECTION ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- RESPONSIBILITY:
 - THE CONTRACTOR WILL REVIEW AND CERTIFY EACH SUBMITTAL PRIOR TO TRANSMITTING IT TO THE ARCHITECT.
 - THE CERTIFICATION SHALL STATE:
 - "THE DATA AND DETAILS IN EACH SHOP DRAWING, PRODUCT INFORMATION DATA SHEET, LAYOUT DRAWING, CATALOG CUT SHEET AND PRODUCT BROCHURE HAS BEEN REVIEWED BY THE UNDERSIGNED AND IT COMPLIES WITH THE CONTRACT DRAWINGS IN ALL RESPECTS UNLESS NOTED OTHERWISE."
 - SUBMITTALS WITHOUT SUCH CERTIFICATION WILL BE RETURNED TO THE CONTRACTOR UNCHECKED.
 - THE CONTRACTOR IS NOT TO BE RELIEVED OF RESPONSIBILITY FOR DEVIATIONS FROM REQUIREMENTS OF THE CONTRACT DOCUMENTS BY THE ARCHITECT'S APPROVAL OF SHOP DRAWINGS, PRODUCT DATA, SAMPLES, OR SIMILAR SUBMITTALS UNLESS THE CONTRACTOR HAS SPECIFICALLY INFORMED THE ARCHITECT IN WRITING OF SUCH DEVIATION AT THE TIMES OF SUBMITTAL AND THE ARCHITECT HAS GIVEN WRITTEN APPROVAL TO THE SPECIFIC DEVIATION.
- SUBMITTAL FORMATS:
 - SUBMITTALS MAY BE MADE IN EITHER PAPER FORM OR ELECTRONIC FORM.
 - PRIOR TO CONTRACTOR'S DISTRIBUTION OF ANY SUBMITTALS:
 - ELECTRONIC FORMATS AND MANAGEMENT THEREOF FOR ELECTRONICALLY DISTRIBUTED MATERIAL TO BE AGREED UPON PRIOR TO FIRST SUBMISSION.
 - DISTRIBUTION PROTOCOL TO BE ESTABLISHED PRIOR TO ISSUE OF SUBMITTALS, SHOP DRAWINGS OR SAMPLES.
- SUBMITTAL QUANTITIES:
 - PRODUCT DATA: SIX (6) - LEGIBLE HARD COPIES OR ONE (1) LEGIBLE ELECTRONIC VERSION IN PDF FORM
 - SHOP DRAWINGS: THREE (3) - HARD COPIES OF SHOP DRAWINGS OR ONE (1) LEGIBLE ELECTRONIC VERSION IN PDF FORM.
 - THREE (3) - PRODUCT SAMPLES
- SUBMITTAL ORGANIZATION:
 - TRANSMITTAL SHEET WITH THE FOLLOWING: SEQUENCE NUMBER, DATA OF TRANSMITTAL, PROJECT NAME AND ARCHITECT'S PROJECT NUMBER, CONTRACTOR'S NAME, APPLICABLE SUBCONTRACTOR, SUPPLIER OR MANUFACTURER AND IDENTIFICATION OF PRODUCT(S) OR ITEM(S) BEING SUBMITTED.
 - SUBMITTAL SEQUENCE NUMBER FORMAT IS AS FOLLOWS - 5 DIGIT CSI SECTION NUMBER - 3 DIGIT SUBMITTAL NUMBER - 1 DIGIT REVISION NUMBER.
 - SAMPLE SEQUENCE NUMBER - 09650-001-0.
 - THE FIVE (5) DIGIT NUMBER INDICATES THE CSI SECTION NUMBER.
 - THE THREE (3) DIGIT NUMBER INDICATES THE SUBMITTAL.
 - THE ONE (1) DIGIT NUMBER INDICATES THE REVISION NUMBER OF THE SUBMITTAL.
- ALL SUBMITTALS MUST BE VERIFIED BY THE CONTRACTOR FOR THE FOLLOWING AS A MINIMUM BEFORE SUBMISSION. THE CONTRACTOR'S STAMP AND INITIALS OR SIGNATURE WILL CERTIFY:
 - MATERIALS ARE IN ACCORDANCE WITH PROJECT REQUIREMENTS
 - COORDINATION OF FIELD DIMENSIONS
 - COORDINATION WITH ADJACENT CONSTRUCTION
 - CONFORMANCE WITH SPECIFIED ENVIRONMENTAL AND JOB CONDITIONS
 - COORDINATION WITH OTHER WORK
 - CONFORMANCE WITH THE CONTRACT DOCUMENTS
 - MATERIAL SAFETY DATA SHEETS WILL ACCOMPANY ALL SUBMITTALS WHERE AVAILABLE.
- COORDINATION OF SUBMITTALS:
 - SCHEDULE SUBMITTALS SO THAT ARCHITECT MAY REVIEW THEM IN A SEQUENCE THAT REFLECTS THE LOGICAL SEQUENCE OF THE WORK AND THE RELATIVE PRIORITY OF THE CONSTRUCTION COMPONENTS.
 - SUBMIT ITEMS WHICH MUST BE COORDINATED, AT THE SAME TIME, SO THAT SUBMITTALS MAY BE REVIEWED TOGETHER.
 - SUBMISSIONS THAT HAVE BEEN FAXED AT ANY TIME DURING DISTRIBUTION PROCESS WILL NOT BE REVIEWED OR PROCESSED BY THE ARCHITECT. NO EXCEPTIONS.
- SHOP DRAWINGS:
 - SUBMIT SHOP DRAWINGS FOR ALL FABRICATED ITEMS.
 - DIMENSIONS AND ELEVATIONS NOTED HEREIN ARE TO BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO SHOP DRAWING SUBMITTAL.
 - UPON RECEIPT OF SHOP DRAWINGS, THE ARCHITECT/DESIGN TEAM WILL ASSUME FIELD VERIFICATION AND WILL NOT CHECK OR VERIFY DIMENSIONS OR ELEVATIONS.
 - SUBMIT SHOP DRAWINGS FOR SYSTEMS OR FABRICATED ITEMS COMPLETE, SIMULTANEOUSLY AND GROUPED BY SYSTEM OR ITEMS.
 - SUBMIT PRODUCT INFORMATION SAMPLES AND MATERIAL SAFETY DATA SHEETS FOR ALL MATERIALS, PRODUCTS AND EQUIPMENT AS FOLLOWS:
 - WHEN SUBMITTING MANUFACTURER'S BROCHURES AND/OR PRODUCT INFORMATION SHEETS, HIGHLIGHT OR OTHERWISE INDICATE CLEARLY THE APPROPRIATE MODEL NUMBER AND WHERE NEEDED STRIKE OUT NON-APPLICABLE INFORMATION.
 - ITEMS REQUIRING PRODUCT INFORMATION SUBMITTALS:
 - FLOOR FINISHES INCLUDING BASE
 - WALL COVERING AND PAINT PRODUCT INFORMATION INCLUDING STRIKE-OFFS
 - MILL WORK AND CASEWORK
 - COUNTER TOP MATERIAL INCLUDING SAMPLE
 - TRIM, RAILINGS, WINDOW SILLS
 - ALL SUSPENDED CEILING COMPONENTS
 - FIRE PROTECTION, MECHANICAL, PLUMBING AND ELECTRICAL MATERIALS AND EQUIPMENT AS REQUIRED BY SPECIFICATIONS FOR THOSE SECTIONS.
- AT ALL TIMES, THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTROLLING DUST AND DEBRIS TO THE SATISFACTION OF OWNER. THE CONTRACTOR SHALL CLEAN ALL WORK AREAS DAILY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL SUBCONTRACTORS DEMOLITION, CUTTING, PATCHING, ETC.
- THE CONTRACTOR SHALL PROVIDE ADEQUATE SHORING AND BRACING FOR ALL WORK DURING CONSTRUCTION.
- ANY DAMAGE TO THE SITE CAUSED BY THE CONTRACTOR'S PROJECT WORK ACTIVITY SHALL BE REPAIRED BY THE CONTRACTOR AT HIS OWN COST AND TO THE SATISFACTION OF THE OWNER AND ARCHITECT.
- THE CONTRACTOR SHALL PROVIDE THE OWNER WITH A DETAILED AS-BUILT RECORD OF INSTALLATION THAT INCLUDES PHOTOGRAPHS, REFERENCE NOTES, AND AS-BUILT DRAWINGS. THE AS-BUILT RECORD SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW OF ITS COMPLETENESS PRIOR TO DELIVERY TO THE OWNER.

56 FRUIT STREET REDESIGN

56 FRUIT STREET
WORCESTER, MA 01609

JENNIFER TAGGART

56 FRUIT STREET
WORCESTER, MA 01609

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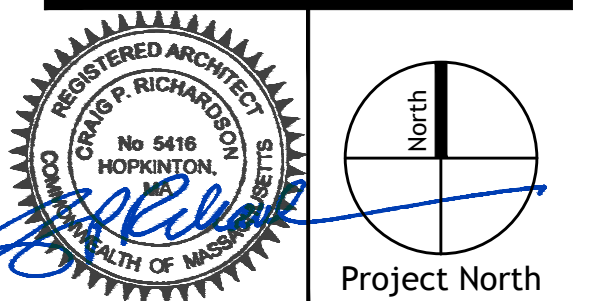
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DATE

Date: FEBRUARY 1, 2024

Proj. No.: 2023086.01

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GENERAL REQUIREMENTS, ABBREVIATIONS, LOCUS AND LEGENDS

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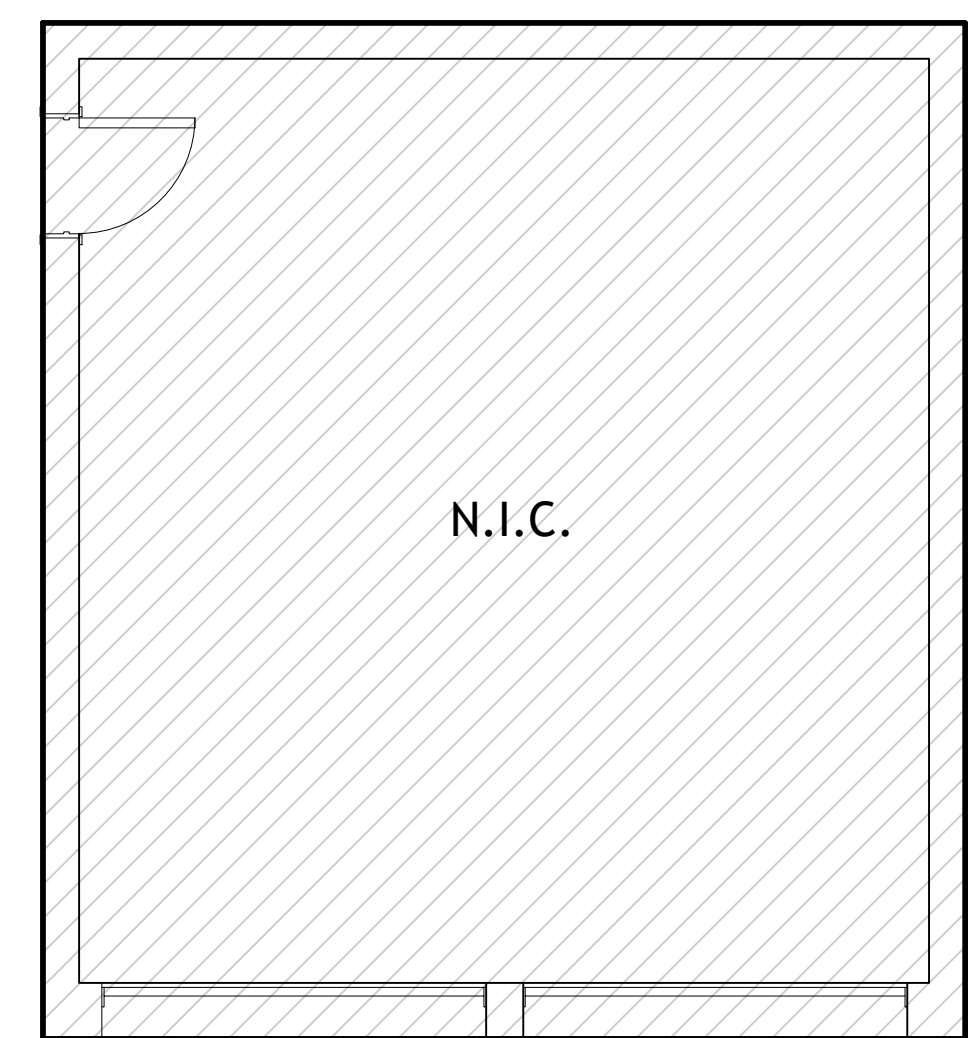
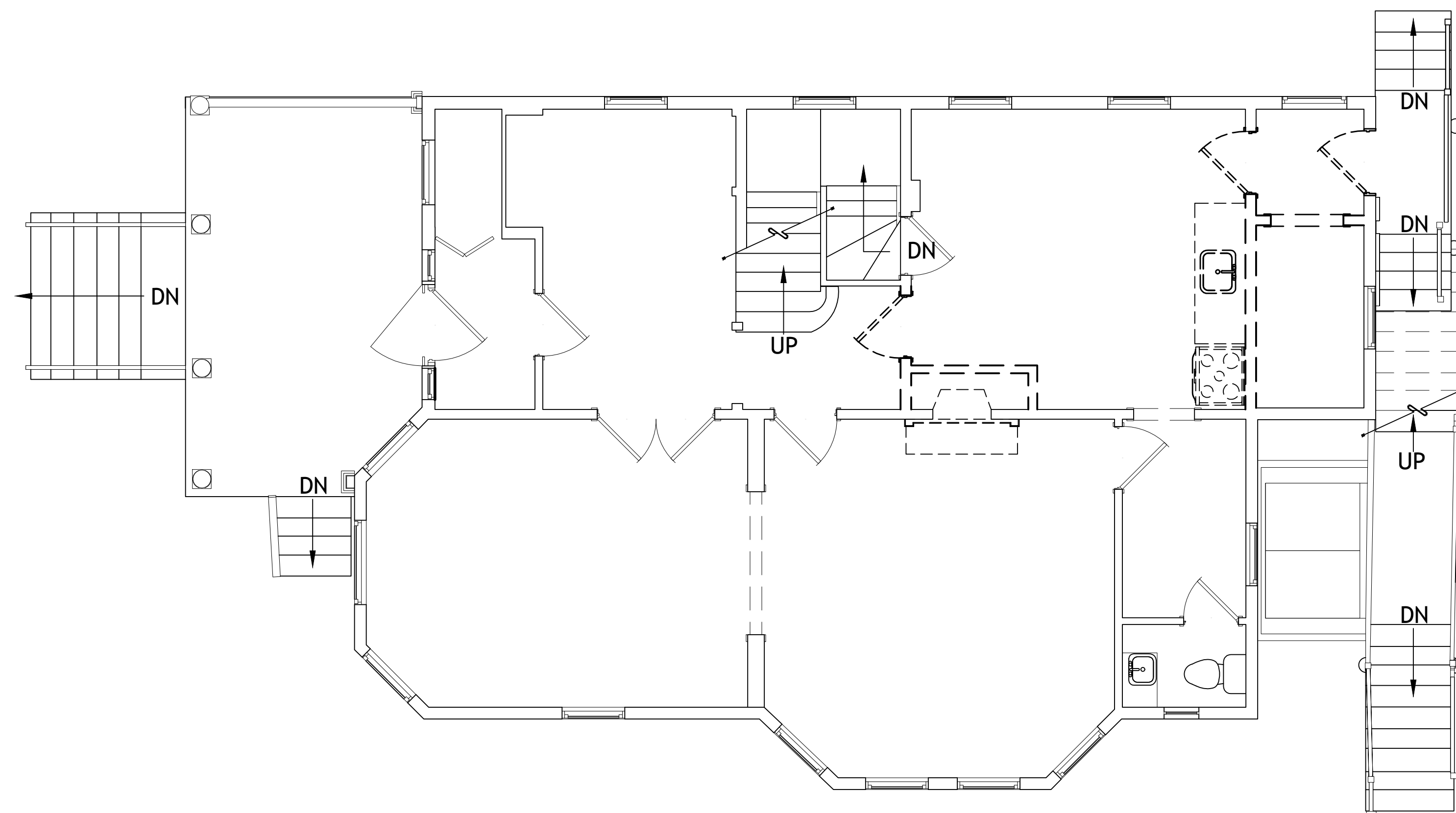
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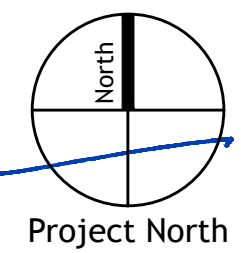
DEMO PLAN LEGEND

	EXISTING DOOR TO REMAIN
	DOOR TO BE REMOVED
	DEMO/CONST NOTE
	EXISTING WALL TO REMAIN
	WALL TO BE DEMOLISHED
N.I.C.	NOT IN CONTRACT

PROJECT CLIENT FIRM KEY PLAN REVISIONS REMARKS REVISIONS No. Description Date COPYRIGHT COPYRIGHT SEAL / ORIENTATION DATA TITLE SHEET

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DEMOLITION FIRST FLOOR PLAN

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56 FRUIT STREET
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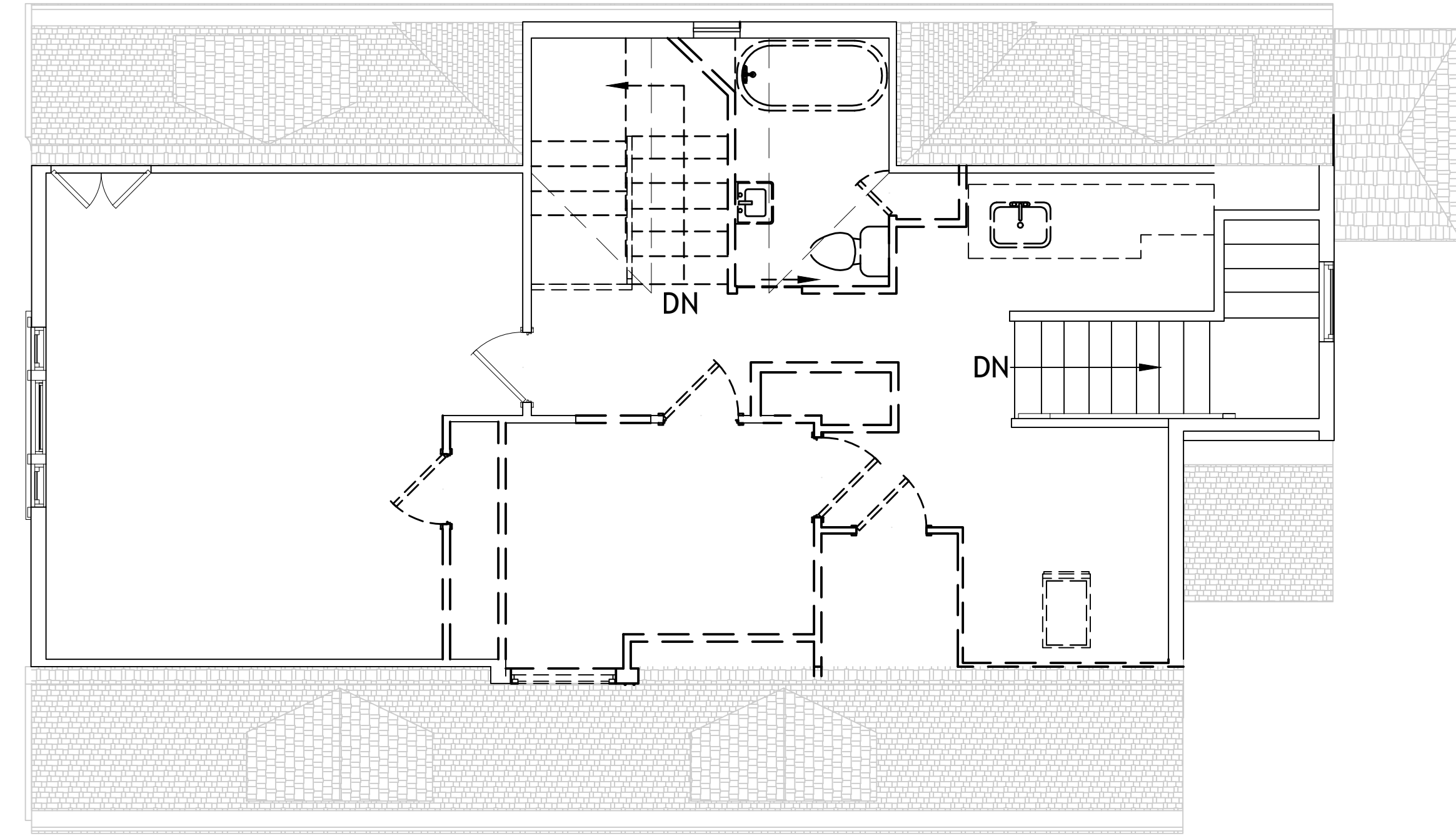
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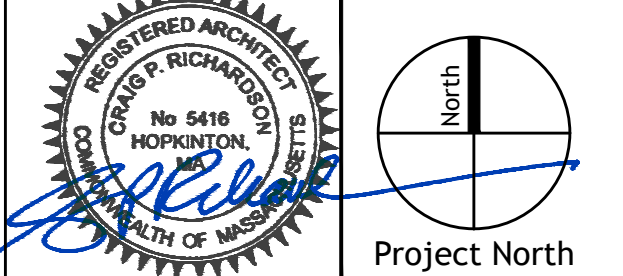
DEMO PLAN LEGEND	
	EXISTING DOOR TO REMAIN
	DOOR TO BE REMOVED
	DEMO/CONST NOTE
	EXISTING WALL TO REMAIN
	WALL TO BE DEMOLISHED
N.I.C.	NOT IN CONTRACT

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DEMOLITION THIRD FLOOR PLAN

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REDESIGN

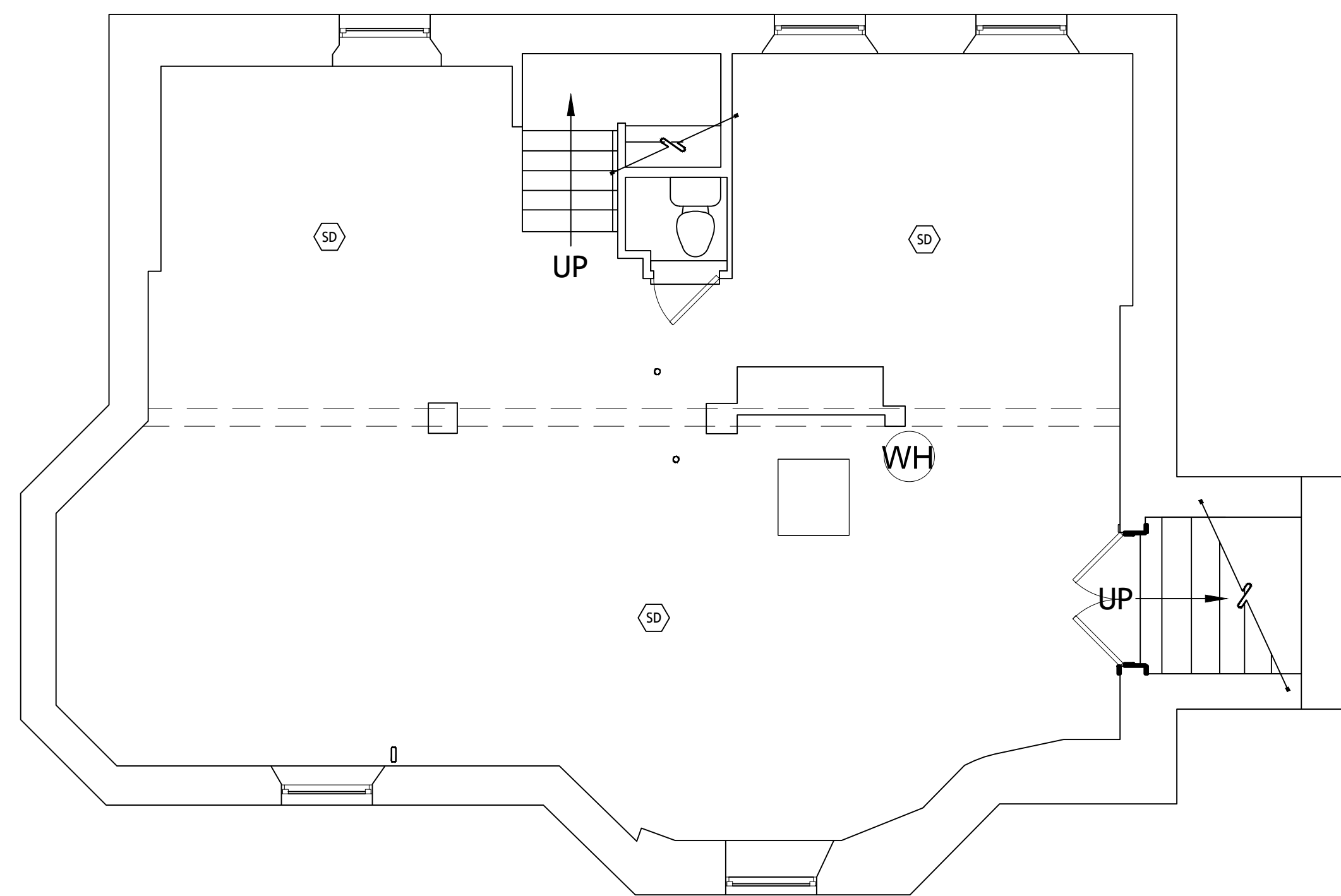
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- GENERAL PLAN NOTES**
1. ALL WORK SHALL CONFORM TO THE LATEST EDITION OF THE COMMONWEALTH OF MASSACHUSETTS BUILDING CODE AND ANY OTHER APPLICABLE CODES AND REGULATIONS.
 2. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES AND/OR DAMAGED CORE BUILDING ELEMENTS THAT COULD AFFECT PROPER EXECUTION OF NEW WORK.
 3. NOTIFY THE ARCHITECT OF FLOOR CRACKS LARGER THAN 1/8" IN WIDTH.
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 5. REFER TO MEP DRAWINGS FOR REMOVAL / RELOCATION OF ALL ELECTRICAL, MECHANICAL & FIRE DETECTION EQUIPMENT, ETC.
 6. REPAIR ALL DAMAGED DRYWALL LIKE NEW IN AREA OF CONSTRUCTION.
 7. REFER TO A10 SHEETS FOR WALL FINISHES.
 8. INSTALL WOOD BLOCKING IN NEW WALLS AS REQUIRED FOR WALL MOUNTING EQUIPMENT AND MILLWORK.
 9. WALL TYPES REFER TO A5.0.

CONSTRUCTION NOTES

△ ...

No.	Description	Date

NEW WORK LEGEND

- NEW DOOR, FRAME & HARDWARE
- EXISTING DOOR TO REMAIN
- EXISTING WALL/PARTITION TO REMAIN
- NEW GWB PARTITION
- EXISTING INTERIOR WINDOW
- NEW INTERIOR WINDOW
- FE-E EXISTING FIRE EXTINGUISHER CABINET AND SIGNAGE TO REMAIN
- FEC NEW/RELOCATED RECESSED FIRE EXTINGUISHER CABINET AND SIGNAGE
- ROOM NAME ROOM NAME
- EL. 0'-0" LOCATION ELEVATION MARKER
- AXX INTERIOR ELEVATION
- WALL TYPE WALL TYPE
- SD SMOKE DETECTOR
- PLAN DETAIL PLAN DETAIL
- SECTION SECTION
- DOOR NUMBER DOOR NUMBER
- COLUMN BUBBLE COLUMN BUBBLE
- CONSTRUCTION KEY NOTE CONSTRUCTION KEY NOTE

REVISIONS

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SEAL / ORIENTATION

REGISTERED ARCHITECT
GORMAN RICHARDSON LEWIS ARCHITECTS, INC.
No. 6416
HOPKINTON, MA
Project North

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PROPOSED
BASEMENT
FLOOR PLAN

A1.0

2023086.01 - JENNIFER TAGGART - 56 FRUIT STREET REDESIGN - PERMIT SET - FEBRUARY 1, 2023

56 FRUIT STREET
REDESIGN

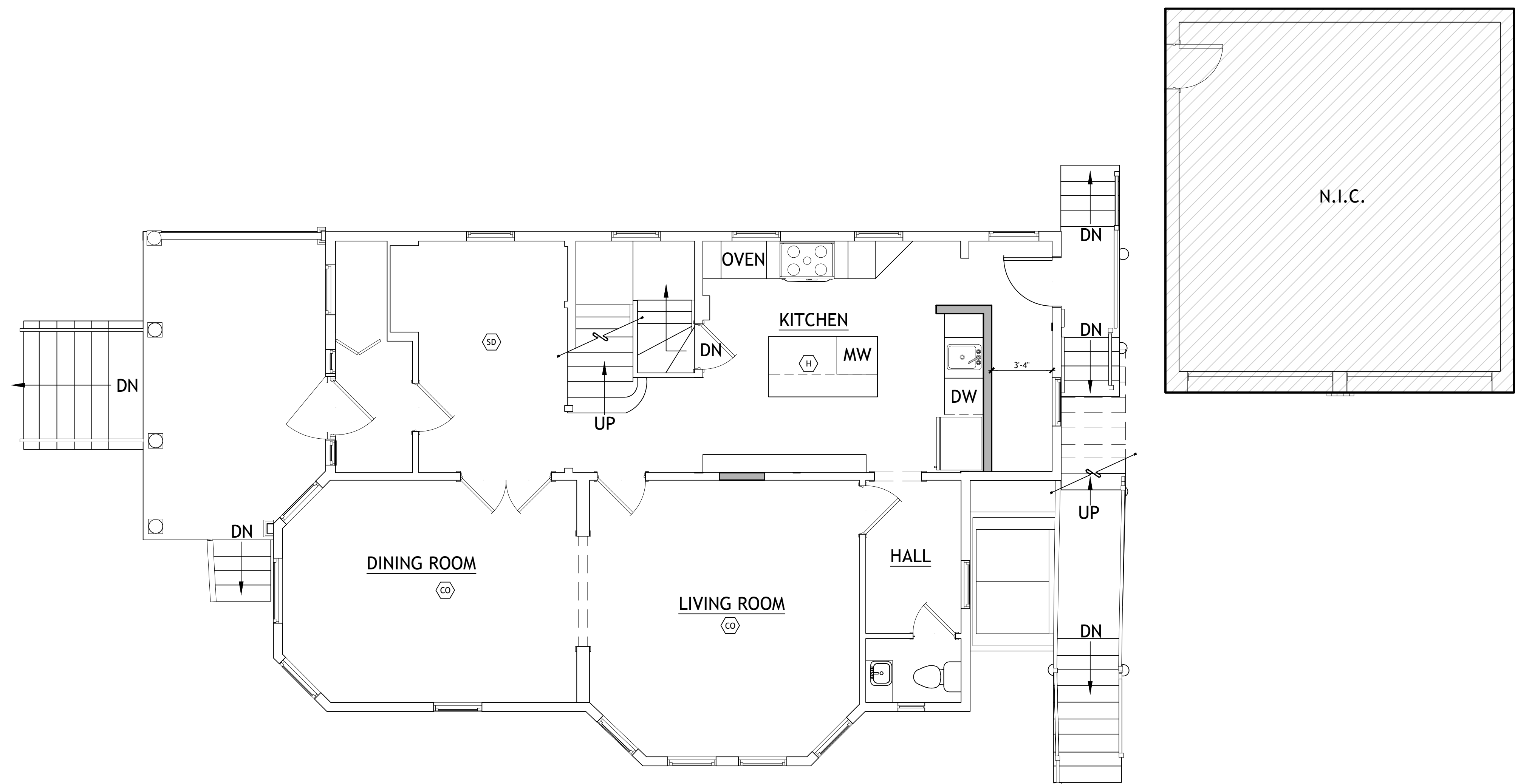
56 FRUIT STREET
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JENNIFER TAGGART

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CONSTRUCTION NOTES

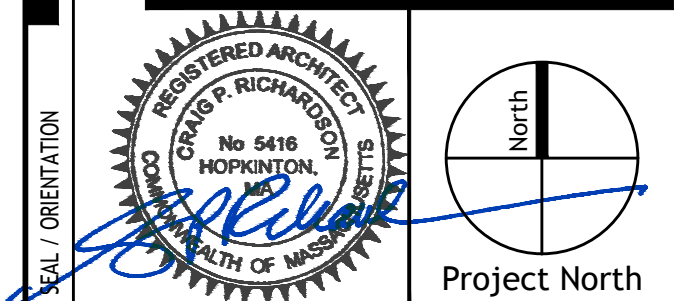
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NEW WORK LEGEND

	NEW DOOR, FRAME & HARDWARE
	EXISTING DOOR TO REMAIN
	EXISTING WALL/PARTITION TO REMAIN
	NEW GWB PARTITION
	EXISTING INTERIOR WINDOW
	NEW INTERIOR WINDOW
	EXISTING FIRE EXTINGUISHER CABINET AND SIGNAGE TO REMAIN
	NEW/RELOCATED RECESSED FIRE EXTINGUISHER CABINET AND SIGNAGE
ROOM NAME	ROOM NAME
	ELEVATION MARKER
	INTERIOR ELEVATION
	WALL TYPE
	SMOKE DETECTOR
	BEDROOM COMBO SMOKE/CARBON MONOXIDE DETECTOR
	CARBON MONOXIDE DETECTOR
	HEAT DETECTOR
	PLAN DETAIL
	SECTION
	DOOR NUMBER
	COLUMN BUBBLE
	CONSTRUCTION KEY NOTE

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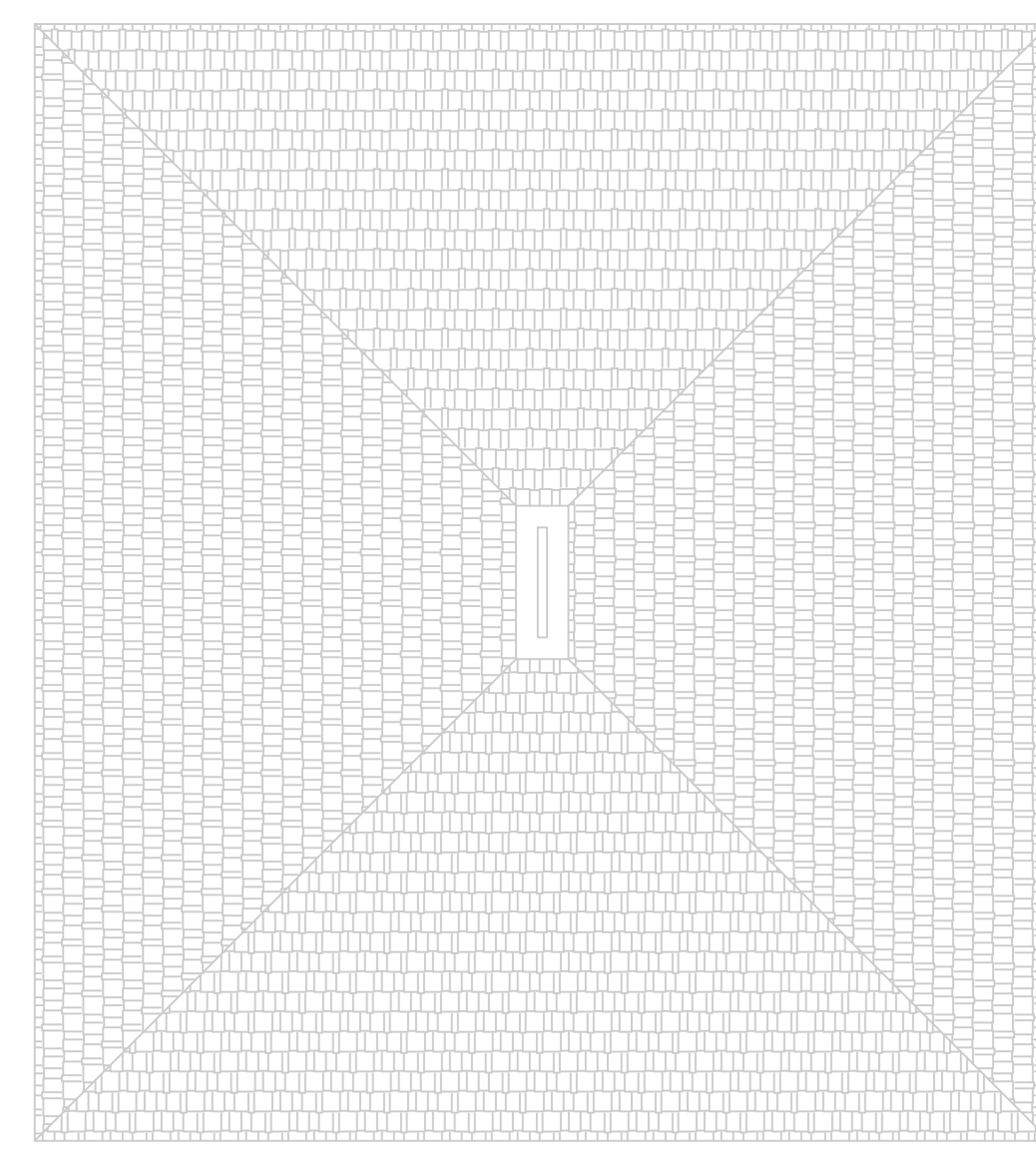
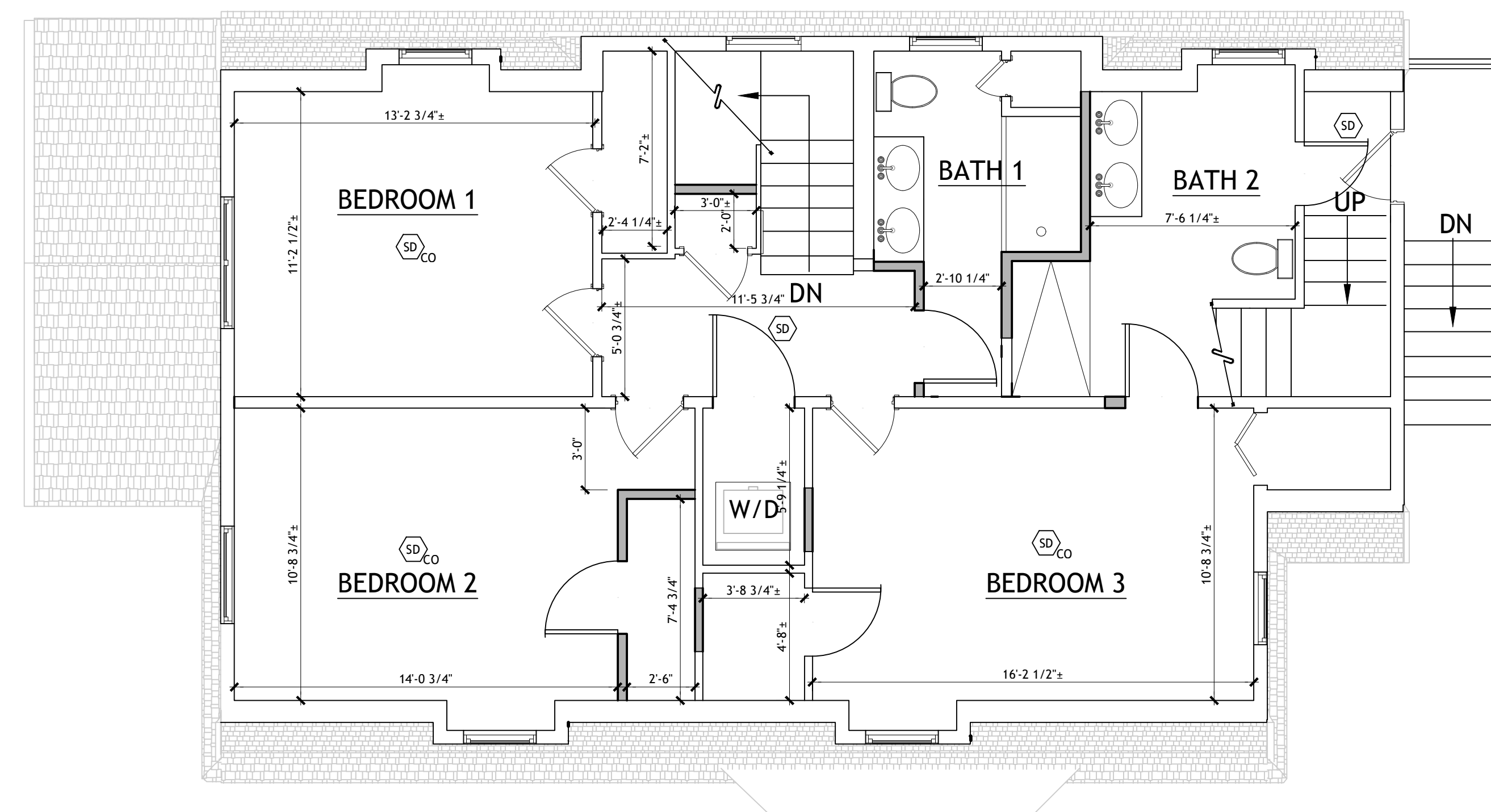


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PROPOSED FIRST FLOOR PLAN

A1.1

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- ### GENERAL PLAN NOTES
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CONSTRUCTION NOTES

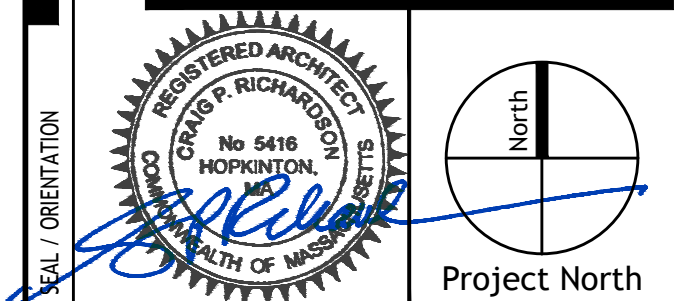
△ ...

NEW WORK LEGEND

	NEW DOOR, FRAME & HARDWARE
	EXISTING DOOR TO REMAIN
	EXISTING WALL/PARTITION TO REMAIN
	NEW G/WB PARTITION
	EXISTING INTERIOR WINDOW
	NEW INTERIOR WINDOW
	EXISTING FIRE EXTINGUISHER CABINET AND SIGNAGE TO REMAIN
	NEW/RELOCATED RECESSED FIRE EXTINGUISHER CABINET AND SIGNAGE
ROOM NAME	ROOM NAME
	ELEVATION MARKER
	INTERIOR ELEVATION
	WALL TYPE
	SMOKE DETECTOR
	BEDROOM COMBO SMOKE/CARBON MONOXIDE DETECTOR
	CARBON MONOXIDE DETECTOR
	HEAT DETECTOR
	PLAN DETAIL
	SECTION
	DOOR NUMBER
	COLUMN BUBBLE
	CONSTRUCTION KEY NOTE

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PROPOSED SECOND FLOOR PLAN

56 FRUIT STREET
REDESIGN

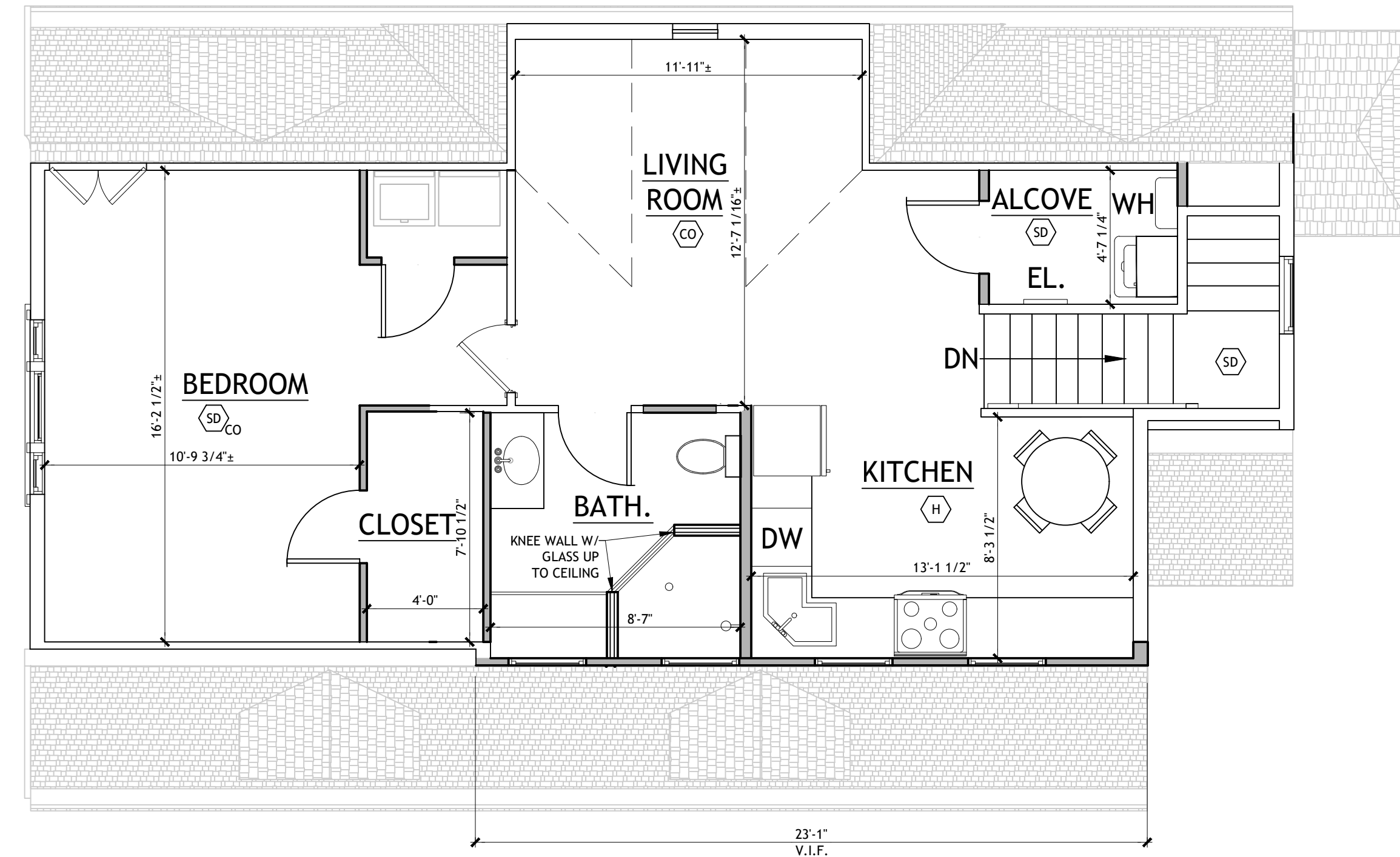
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CONSTRUCTION NOTES

△ ...

NEW WORK LEGEND

	NEW DOOR, FRAME & HARDWARE
	EXISTING DOOR TO REMAIN
	EXISTING WALL / PARTITION TO REMAIN
	NEW GWB PARTITION
	EXISTING INTERIOR WINDOW
	NEW INTERIOR WINDOW
	EXISTING FIRE EXTINGUISHER CABINET AND SIGNAGE TO REMAIN
	NEW/RELOCATED RECESSED FIRE EXTINGUISHER CABINET AND SIGNAGE
ROOM NAME 	ROOM NAME
ELEVATION 	ELEVATION MARKER
	INTERIOR ELEVATION
	WALL TYPE
	SMOKE DETECTOR
	BEDROOM COMBO SMOKE / CARBON MONOXIDE DETECTOR
	CARBON MONOXIDE DETECTOR
	HEAT DETECTOR
	PLAN DETAIL
	SECTION
	DOOR NUMBER
	COLUMN BUBBLE
	CONSTRUCTION KEY NOTE

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PROPOSED THIRD FLOOR PLAN

A1.3

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56 FRUIT STREET
REDESIGN

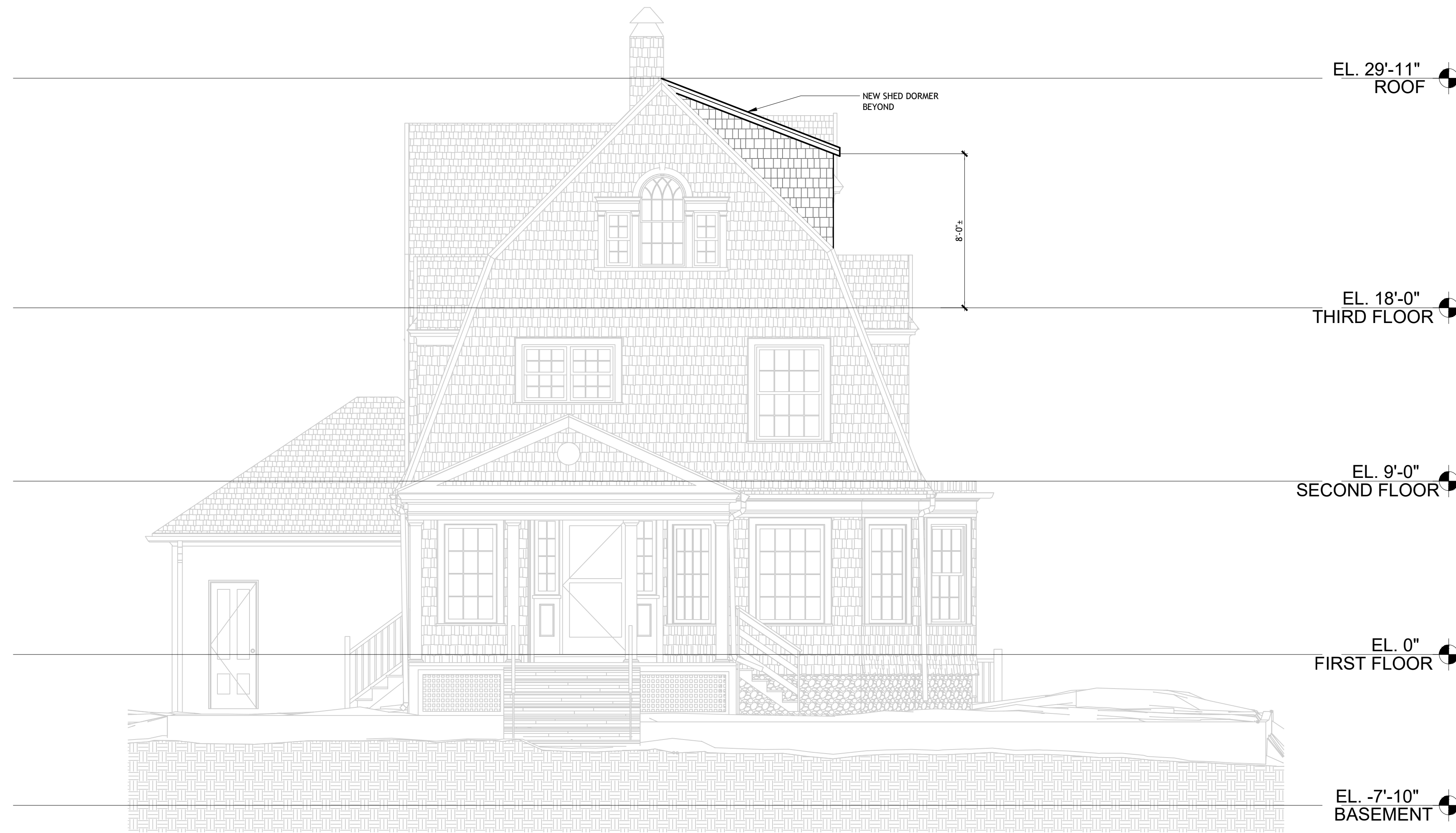
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FIRM

KEY PLAN

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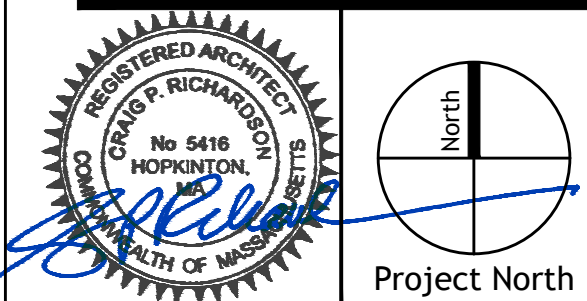
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PROPOSED
WEST
ELEVATION

A3.1

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56 FRUIT STREET
REDESIGN

56 FRUIT STREET
WORCESTER, MA 01609

JENNIFER TAGGART

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REGISTERED ARCHITECT
GORMAN RICHARDSON LEWIS ARCHITECTS, INC.
No. 6416
HOPKINTON,
MASSACHUSETTS

Project North

Date: FEBRUARY 1, 2024
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PROPOSED
SOUTH
ELEVATION

A3.2

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56 FRUIT STREET
REDESIGN

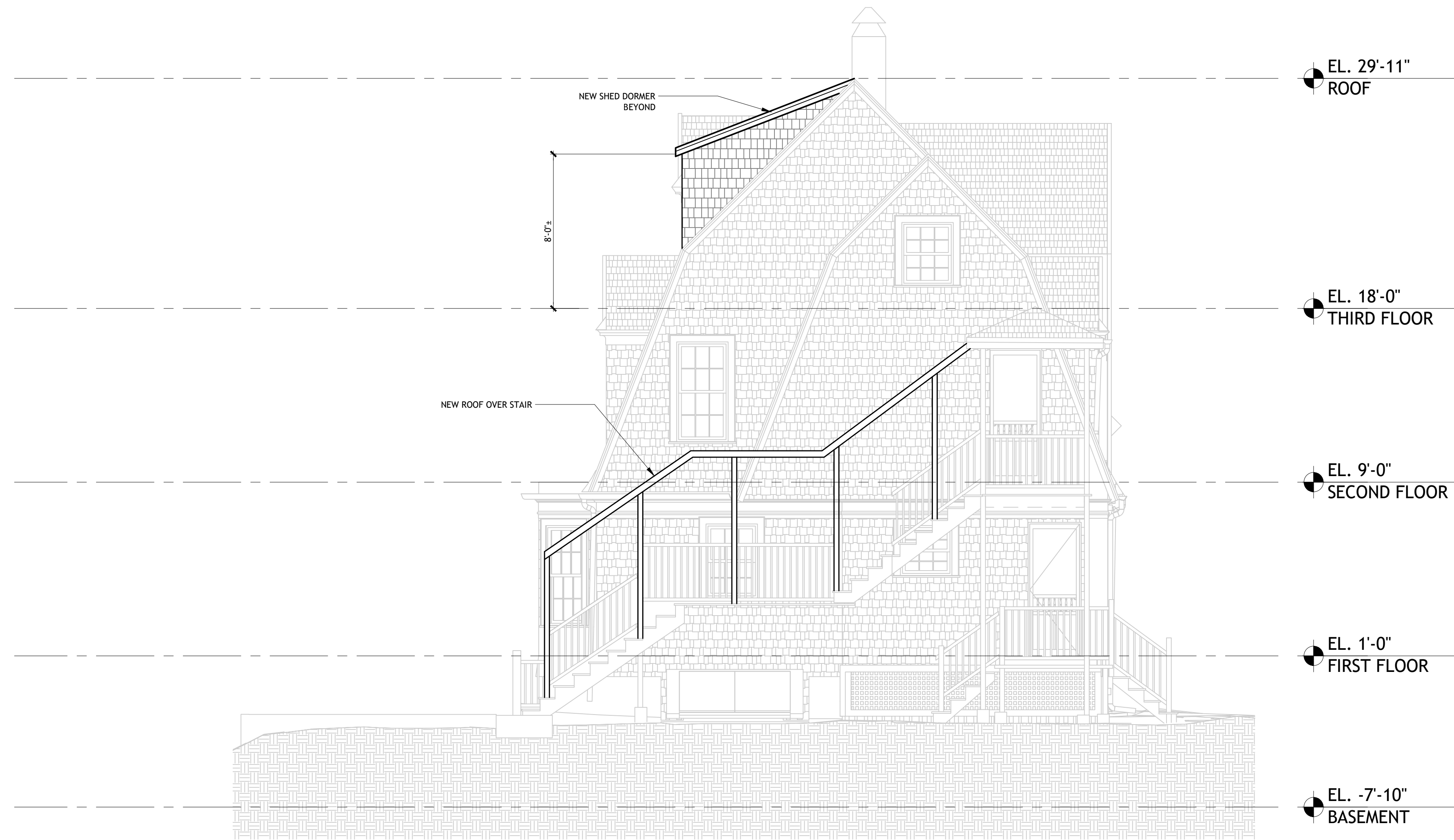
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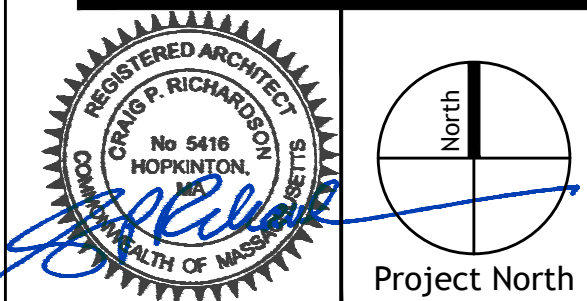
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PROPOSED
EAST
ELEVATION

A3.3

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56 FRUIT STREET
REDESIGN

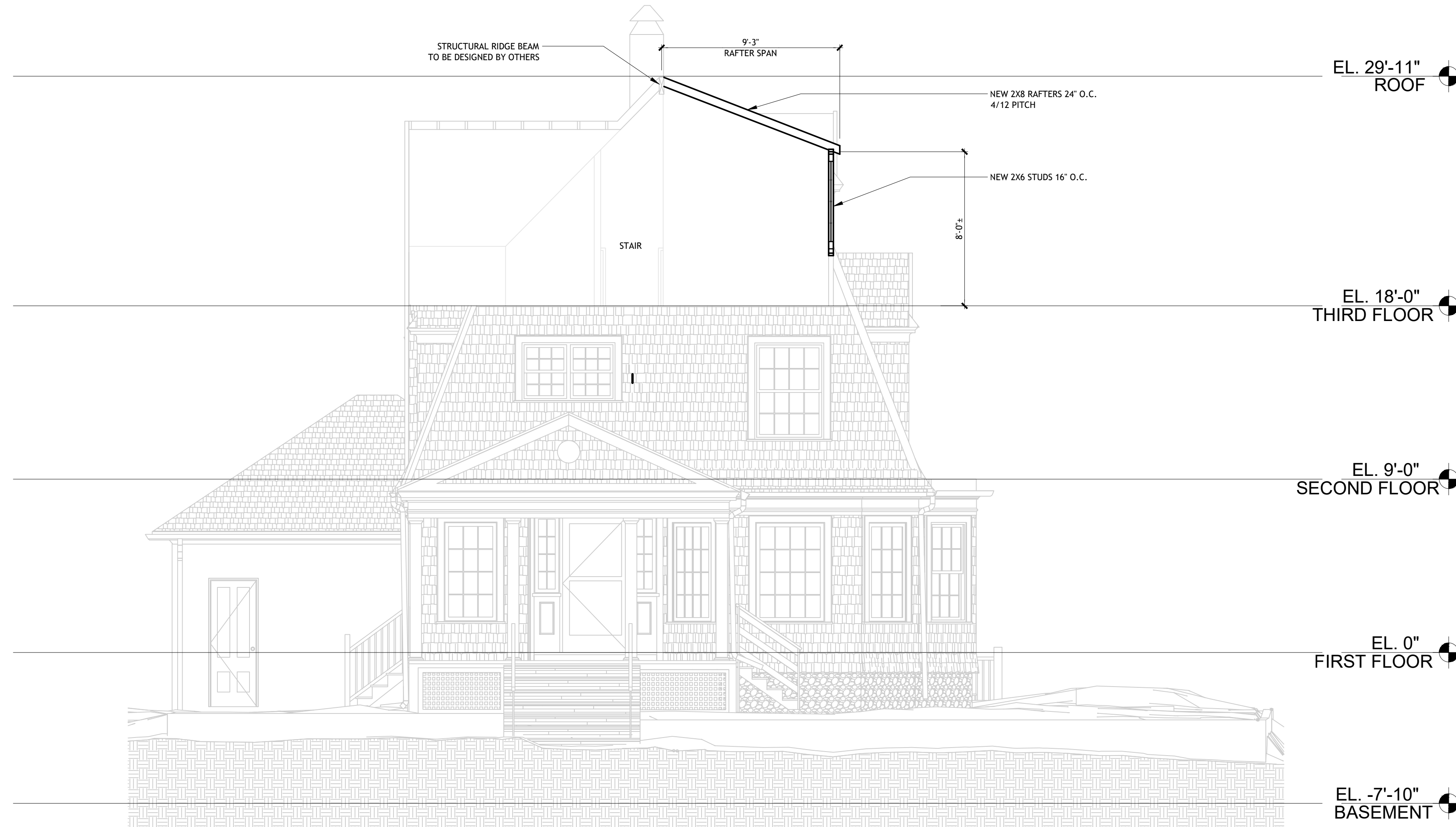
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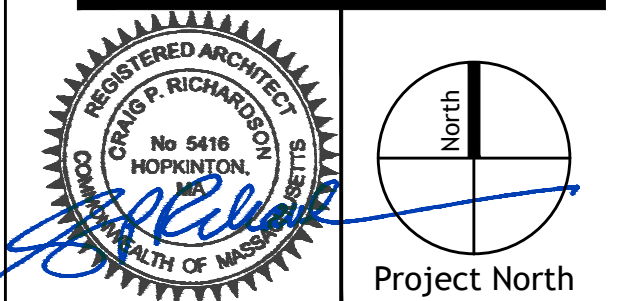
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BUILDING
SECTION

A6.1

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